

**RESOLUTION NO. 06-32**

**RESOLUTION CREATING RURAL SPECIAL IMPROVEMENT  
DISTRICT KNOWN AS R.S.I.D. #742 AND MAINTENANCE  
DISTRICT KNOWN AS R.S.I.D. #742M  
COLLINGWOOD SUBDIVISION**

WHEREAS, the Board of County Commissioners of Yellowstone County, Montana, ("Commissioners") met in regular session and executed a Resolution of Intent to Create a Rural Special Improvement District #742 and Maintenance District #742M for properties within Collingwood Subdivision, as described in Exhibit A and more particularly shown in Exhibit B (map) and,

WHEREAS, the Clerk and Recorder published the Notice of the passage of Resolution of Intent to Create the District in the Billings Gazette on February 24 and March 3rd, 2006, and mailed a copy of the Notice to every person, firm or corporation owning property in the District; and,

WHEREAS, the Board of County Commissioners finds, determines and declares that:

1. That the public interest or convenience requires the creation of a Rural Special Improvement District and Maintenance District as described below;
2. That the costs of improvements and providing maintenance and repair shall be borne by owners of the property included within the boundaries of the Rural Special Improvement District with all existing and future lots being assessed an equal amount based upon the total cost of improvements and maintenance;
3. That the purpose of forming the District is to provide not only for the necessary repairs and improvements, but to ensure for the future operation, maintenance and preservation of the roadways located within the boundaries of this District;
4. That the Commissioners have been presented with a valid Petition signed by more than 60% of the freeholders of the proposed District to create the proposed district;
5. That the Commissioners have conducted a hearing to consider proponent and opponent positions regarding the creation of the district;

Page 2 – Resolution to Create R.S.I.D. #742/742M

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Yellowstone County as follows:

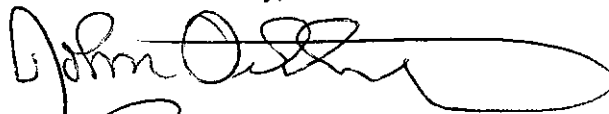
1. The Commissioners have acquired jurisdiction to create a Rural Special Improvement District No. 742 and Maintenance District No. 742M to provide for the annual maintenance, operation and preservation of the repaired and improved roadway system and the District is hereby created on the terms and conditions set forth below and in accordance with the Resolution of Intent.
2. The boundaries of the district are shown on the map in Exhibit A and are more particularly described in Exhibit B. The individual effected properties and property attributes are shown in Exhibit C.
3. The total project cost, individual property assessment, and annual assessments per property are estimated and described in Exhibit D. These improvements and costs are more particularly described in Exhibit E. The estimated maintenance costs are shown in Exhibit F.
4. The number of the Rural Special Improvement District is No. 742 and the number of the Maintenance District is No. 742M.
5. The estimated costs of the repairs and improvements, including construction costs, incidental expenses, engineering fees, legal fees, administrative costs, exclusive of interest charges, that will be assessed against the properties shall be the sum of \$33,000, as more particularly described in Exhibits C and D and spread over a period of five years.
6. All lots and tracts accessing their property from the improved streets will benefit from the proposed R.S.I.D. and shall be assessed for the improvements and subsequent road maintenance. All lots will be assessed an equal amount based upon the total cost of the improvements. Assessments are to be made on property tax statements beginning in November, 2006 or in November, 2007 if the assessment deadline for the 2006 tax statement is missed. The first year's assessment may include more than one year's interest and subsequently the first year's payment may be higher than the second thru fifth year's assessments. Property owners will have an opportunity to pay off their original principal assessment without interest at the time of original assessment. The estimated original assessment per lot is \$540.98. If the original assessment is financed over a five year period at a 8.0% estimated interest rate, the annual cost is estimated at \$135.49 for each full assessment on a district property. Property owners who choose to prepay the original assessment in full before the County begins the bonding process may avoid bonding costs and will be assessed \$476.07. Should securing the necessary financing for the district fail to occur, the prepayment of \$476.07 will be returned to those individuals who made payment to the County.

7. Prior to authorizing the use of the County's revolving fund to secure the payment of rural special improvement district bonds that will be issued to fund the cost of constructing and upgrading the improvements in the District, the Commissioners shall take into consideration the factors enumerated in 7-12-2185(3), M.C.A. The factors that the Commissioners shall take into consideration when determining whether it is in the public interest to secure the payment of rural special improvement district bonds with the County's revolving fund are compiled in Exhibit C. The Commissioners have evaluated those factors and determine the use of the County's revolving fund to be appropriate.
8. That all valid protests to the creation of the district have been evaluated and considered, and find them to be insufficient.
9. The Commissioners desire that an Ad Hoc Committee be appointed to make recommendations to the Commissioners with regard to the need for assessments to be made for the maintenance and the amount of the assessments, and how the assessments should be spent. The Petitioners have submitted a list of some individuals who are willing to serve on the Ad Hoc Committee. (See Exhibit G.)

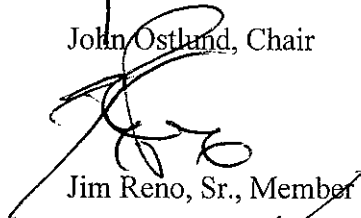
PASSED AND ADOPTED by the Board of County Commissioners of Yellowstone County, Montana, this 22nd day of March, 2006.

Board of County Commissioners  
Yellowstone County, Montana

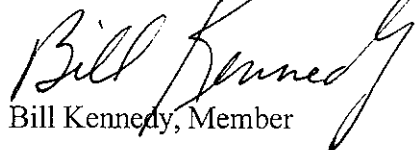
(SEAL)



John Ostlund, Chair

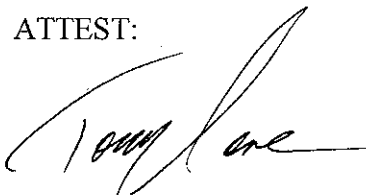


Jim Reno, Sr., Member



Bill Kennedy, Member

ATTEST:



Tony Nave  
Clerk and Recorder



# **EXHIBIT B**

## **RESOLUTION OF INTENTION TO CREATE R.S.I.D. #742M (COLLINGWOOD SUBDIVISION)**

### **LEGAL DESCRIPTIONS**

Lots 1 through 18 Block 1 Collingwood Subdivision  
Lots 1 through 26 Block 2 Collingwood Subdivision  
Lots 2 through 18 Block 3 Collingwood Subdivision

**EXHIBIT C  
RESOLUTION OF INTENT TO CREATE RSID 742 - COLLINGWOOD SUBDIVISION**

ROAD IMPROVEMENT AND MAINTENANCE

TAX CODE	OWNER(S)	LOI	BLOCK	SUBDIVISION	(A) Improved (1) of Vacant (2)	(B) Market Valuation	(C) Units of Assess.	(D) Delinq. Taxes as of 1/24/06	(E)=(C)X540.98 Estimated Assessment on RSID	(F)=(E)X(A) Assessments On Improved Properties	(G)=(B)-(D)-(E) Positive Net Values	(H)=(B)-(D)-(E) Negative Net Values
B02510	BOLENSKE, FRED C	1	1	COLLINGWOOD	0	13,238	1	-	540.98	-	12,697	-
B02511	BOLENSKE, FRED C	2	1	COLLINGWOOD	0	13,181	1	-	540.98	-	12,640	-
B02512	MCGEE, DANIEL W & LARAE D (1/2) & WHALEY, DA	3	1	COLLINGWOOD	0	13,298	1	-	540.98	-	12,697	-
B02513	WALSH, HOWARD S JR & ANN T	4	1	COLLINGWOOD	0	13,187	1	-	540.98	-	12,646	-
B02514	STUTTERHEIM, RONALD R & MARGO L	5	1	COLLINGWOOD	0	100,603	1	-	540.98	540.98	100,062	-
B02515	WYMAN, LARRY J & KATHY L	6	1	COLLINGWOOD	0	13,268	1	-	540.98	-	12,727	-
B02516	WYMAN, LARRY J & KATHY L	7	1	COLLINGWOOD	1	104,208	1	-	540.98	540.98	103,665	-
B02517	BEVEN FAMILY TRUST (THE)	8	1	COLLINGWOOD	1	110,194	1	-	540.98	540.98	109,653	-
B02518	PEERS, RANDALL J	9	1	COLLINGWOOD	1	122,452	1	-	540.98	540.98	121,911	-
B02519	NORMAN, GAIL	10	1	COLLINGWOOD	1	83,349	1	-	540.98	540.98	82,808	-
B02520	HAFNER, GREGG A & MARCIA M	11	1	COLLINGWOOD	1	108,111	1	-	540.98	540.98	107,570	-
B02521	ADAMS, JOHN L JR & ELAINER	12	1	COLLINGWOOD	0	74,966	1	-	540.98	-	74,425	-
B02522	WOLF, JEANNE	13	1	COLLINGWOOD	0	26,028	1	-	540.98	-	25,487	-
B02523	DELL, WILLIAM J & DIANE L	14	1	COLLINGWOOD	1	187,453	1	-	540.98	540.98	186,912	-
B02524	PURCELL, DOUGLAS N & ELVIA PATRICIA	15	1	COLLINGWOOD	1	111,582	1	-	540.98	540.98	111,041	-
B02525	KNEPPER, DANIEL G & DEBORAH D	16	1	COLLINGWOOD	1	136,167	1	-	540.98	540.98	135,626	-
B02526	VAUGHAN, THOMAS H & PATRICIA J	17	1	COLLINGWOOD	1	114,199	1	-	540.98	540.98	113,658	-
B02527	SOUTHWORTH, JAMES O & SOUTHWORTH, SHIRLI	18	1	COLLINGWOOD	1	88,176	1	-	540.98	540.98	88,635	-
B02528	GAUTHIER, THOMAS A & JULIE A	1	2	COLLINGWOOD	1	103,351	1	-	540.98	540.98	102,810	-
B02529	WHALEY, DAVE & CHARLENE	2	2	COLLINGWOOD	1	109,202	1	-	540.98	540.98	108,661	-
B02530	MCGEE, DANIEL W & LA RAE D	3	2	COLLINGWOOD	1	72,822	1	-	540.98	540.98	72,281	-
B02531	WALSH, HOWARD S JR & ANN T	4	2	COLLINGWOOD	1	80,263	1	-	540.98	540.98	80,722	-
B02532	TURNER, JACKIE	5	2	COLLINGWOOD	1	97,302	1	-	540.98	540.98	96,761	-
B02533	CRADDOCK, MICHAEL G & JAMIE	6	2	COLLINGWOOD	1	105,904	1	-	540.98	540.98	105,363	-
B02534	DRINKWALTER, KAREN	7	2	COLLINGWOOD	1	93,792	1	-	540.98	540.98	93,251	-
B02535	OSBORNE, SHAWN E & LISA R	8	2	COLLINGWOOD	1	88,159	1	-	540.98	540.98	87,618	-
B02536	REESER, CHARLES L & COLLEEN B	9	2	COLLINGWOOD	1	94,824	1	-	540.98	540.98	94,283	-
B02537	HOLL, PATRICIA	10	2	COLLINGWOOD	1	91,286	1	-	540.98	540.98	90,745	-
B02538	BENSON, THOMAS L & SUSAN E	11	2	COLLINGWOOD	1	103,157	1	-	540.98	540.98	102,616	-
B02539	RAE, KEITH ALAN & TERRY ANN	12	2	COLLINGWOOD	1	120,340	1	-	540.98	540.98	119,799	-
B02540	ROLISON, GUY W & STARLA M	13	2	COLLINGWOOD	1	91,797	1	-	540.98	540.98	91,256	-
B02541	BEERY, DAVID L & MARY C	14	2	COLLINGWOOD	0	105,973	1	-	540.98	-	105,432	-
B02542	BEERY, DAVID L & MARY C	15	2	COLLINGWOOD	0	13,161	1	-	540.98	-	12,620	-
B02543	VAGNER, JOHN J	16	2	COLLINGWOOD	1	173,973	1	-	540.98	540.98	173,432	-
B02544	TRAEGER, JOHN E & KAREN L	17	2	COLLINGWOOD	1	115,694	1	-	540.98	540.98	115,153	-
B02545	KOBERSTEIN, BRUCE G	18	2	COLLINGWOOD	1	95,288	1	-	540.98	540.98	94,757	-
B02546	SCHNEIDER, JONATHAN & CAROLYN	19	2	COLLINGWOOD	0	13,161	1	-	540.98	-	12,620	-
B02547	SCHNEIDER, JONATHAN P & CAROLYN D	20	2	COLLINGWOOD	1	91,560	1	-	540.98	540.98	91,019	-
B02548	JOSTI, DONALD M & TAMMY JEAN	21	2	COLLINGWOOD	1	109,712	1	-	540.98	540.98	109,171	-
B02549	HEDMAN, RICHARD L & CATHERINE F	22	2	COLLINGWOOD	1	159,220	1	-	540.98	540.98	158,679	-
B02550	HEYNEMAN, JAMES F	23	2	COLLINGWOOD	1	86,558	1	-	540.98	540.98	86,017	-
B02551	BENNETT, ROBERT E & FRANCES E	24	2	COLLINGWOOD	0	14,144	1	-	540.98	-	13,603	-
B02552	BENNETT, ROBERT E & FRANCES E	25	2	COLLINGWOOD	1	93,896	1	-	540.98	540.98	93,355	-
B02553	PIFF, DAVID M & PIFF, SHAYLA	26	2	COLLINGWOOD	0	13,177	1	119.66	540.98	-	12,516	-
B02554	HAYDEN, MARY DIANE	2	3	COLLINGWOOD	0	26,321	1	-	540.98	-	25,780	-
B02555	FIGG, RICHARD E & PAMELA J	3	3	COLLINGWOOD	1	84,314	1	-	540.98	540.98	83,773	-
B02556	SISK, LISA M & JOSEPH L	4	3	COLLINGWOOD	1	89,924	1	-	540.98	540.98	89,383	-
B02557	WEIDLER, MICHAEL GLENN & RENITA RAE	5	3	COLLINGWOOD	1	84,655	1	-	540.98	540.98	84,114	-
B02558	WAGNER, DENNIS M & MARY LYNN	6	3	COLLINGWOOD	1	98,596	1	-	540.98	540.98	98,055	-
B02559	O'NEIL, JAMES K & ROBIN L	7	3	COLLINGWOOD	1	100,601	1	-	540.98	540.98	100,060	-
B02560	WEGNER, RICHARD E & DONNA C	8	3	COLLINGWOOD	1	115,321	1	-	540.98	540.98	114,780	-
B02561	FRANK, LEE ROY & DIANA M	9	3	COLLINGWOOD	1	77,854	1	-	540.98	540.98	77,313	-
B02562	NICHOLAS, WESLEY B & BARBARA A	10	3	COLLINGWOOD	1	68,063	1	-	540.98	540.98	67,522	-
B02563	GATCH, DAN N & JEANA L	11	3	COLLINGWOOD	1	100,628	1	-	540.98	540.98	100,087	-
B02564	MARKEGARD, KURT A & BOBBIE G	12	3	COLLINGWOOD	1	118,044	1	-	540.98	540.98	117,503	-
B02565	SHERWOOD, RICHARD E & COLLEEN P	13	3	COLLINGWOOD	1	74,726	1	-	540.98	540.98	74,185	-
B02566	HAHN, JOHN W & LYNDIA M	14	3	COLLINGWOOD	1	140,527	1	-	540.98	540.98	139,986	-
B02567	OLSON, JESSE J & JUDITH A	15	3	COLLINGWOOD	1	179,423	1	-	540.98	540.98	178,882	-
B02568	TWICHEL, KENNETH K & DENISE M	16	3	COLLINGWOOD	1	97,687	1	-	540.98	540.98	97,146	-
B02569	NOVASIO, GREGORY J & KARI L	17	3	COLLINGWOOD	1	79,855	1	-	540.98	540.98	79,314	-
B02571	THORSON, KERRY P & APRILL	18	3	COLLINGWOOD	1	131,079	1	-	540.98	540.98	130,538	-
Totals		50	5,469,882	61	119.66	32,998.78	27,049.00	5,436,763	0			

50 PROPERTIES IMPROVED  
61 PROPERTIES ASSESSED  
82.0% PERCENT DEVELOPED

## EXHIBIT D

### RESOLUTION OF INTENT TO CREATE RSID Example - EXHIBIT D

#### COLLINGWOOD SUBDIVISION - LAUREL ESTIMATED COST OF STREET IMPROVEMENTS-PRIVATE BOND SALE AS OF November, 2005

Construction cost estimate	\$	23,600.00		
Construction contingency - 20%		4,720.00		
<b>TOTAL CONSTRUCTION COSTS</b>		<b>28,320.00</b>		
<b><u>DIRECT ADMIN. COSTS-PRIVATE SALE</u></b>				
Engineering-Precreation costs		-		
Engineering-Design		-		
Engineering-Admin, Inspection, Staking, etc.		-		
Ownership report		200.00		
Advertising, postage, misc.		520.00		
<b>SUBTOTAL</b>		<b>29,040.00</b>	<b>476.07</b>	
<b><u>INDIRECT ADMIN. &amp; RESERVE COSTS</u></b>				
County RSID Revolving Fund Collateralization-5% of debt issue		1,650.00		
County Administration-5% of debt issue		1,650.00		
RSID Debt Reserve-2%, 80-89% developed (unconfirmed)		660.00		
<b>TOTAL ESTIMATED DEBT REQUIREMENT</b>		<b>33,000.00</b>	<b>540.98</b>	<b>14%</b>
Number of parcels in district boundary		61		
<b>Cost per parcel for properties paying off before bonding-assessed on equal basis</b>	<b>\$</b>	<b>476.07</b>		
<b>Cost per parcel for properties financing-assessed on equal basis</b>	<b>\$</b>	<b>540.98</b>		
<b>Est. annual cost @ 6.0% over 5 years</b>		<b>\$128.43</b>		
<b>Est. annual cost @ 7.0% over 5 years</b>		<b>\$131.94</b>		
<b>Est. annual cost @ 8.0% over 5 years</b>		<b>\$135.49</b>		

#### **STEPS:**

**Petition to Create District to County**

**Create RSID Bond and Maintenance Districts**

**April 20, 2006 get fresh construction Bid**

**Get letter to property owners regarding payment before bonding costs**

**2-3 weeks to prepay ( district still subject to bonding attainment)**

**6-8 weeks to sell bond for properties financing**

**After bond is sold and contract signed then contractor can be given notice to proceed**

# Exhibit E



## CHIP SEAL

### SPECIAL PROVISIONS

1. **Summary of Work:**

Roads to be chip sealed are as follows:

- Downy Road – Yard Office Road to North Hills Estates Sub.
- Pinyon Drive – Yard Office Road to Downy Road

This project shall be bid lump sum, in the following alternates:

- Alternate 1 – Chip Seal – Lump Sum, sweep after using “pick-up” broom
- Alternate 2 – Chip Seal – Lump Sum, sweep after using “power” broom

Any project that has a total contract amount that exceeds \$25,000 will require the Contractor to pay State prevailing wages to all employees and / or subcontractors employees per State law.

2. **Guarantee:** All work shall be guaranteed for a period of one (1) year. Defective construction observed before the expiration of the one (1) year guarantee shall be removed and replaced at no cost to the owner.
3. **Coordination with Other Contractors:** The Contractor shall coordinate his work on this project with the work of other contractors in the area to assure orderly completion of the work and to maintain safe conditions with reasonable traffic flow.
4. **Date of Completion:** The entire work shall be completed within the time stated in the Agreement Form.
5. **Claims for Extra Work:** No claim for extra work will be allowed unless it is presented before the final progress payment estimate and is accompanied by a written order given by the Owner for such extra work. The order must state the approximate amount and the price to be paid for the same. The Owner reserves the right to contract with any person or firm, other than



the Contractor, for any or all extra work. The Montana Public Works Standard Specifications shall determine the methodology for any extra work and therefore provide the basis for the cost of extra work.

6. **Testing:** All quality control and compliance testing of work accomplished will be performed by Contractor, or its designated representative, at no cost to the Owner. All testing costs are to be included in the lump sum price for the work to be done under this contract and no additional compensation will be allowed for testing.
7. **Responsibility to Property Owners:** The Contractor shall, at all times, conduct his work so as to insure, in the greatest possible degree, the uninterrupted convenience and safety of the property owners adjacent to the work. Access for these property owners shall be maintained at all times.
8. **Notification of Property Owners:** It shall be the Contractor's responsibility to notify property owners and/or tenants 48 hours in advance of his approaching road work operations in order to arrange for the removal of parked vehicles or other items in the road that would interfere with his operations.
9. **Special Considerations:** Several public works projects may be under construction during the same time period in and near the areas proposed for this project. It may be necessary for the Contractor to coordinate his activities in those circumstances.
10. **Traffic Control:** Traffic control on this project shall be in accordance with Section 01570 of the MPW Standard Specifications. No measurement or payment shall be made for this item but it shall be included in the cost of the other bid items.
11. **Estimated Application Rates:** The application rates for this project shall be determined in the field by the Contractor, warranted by what road conditions necessitate. The following are approximate minimum requirements.

Emulsified Asphalt	0.28 gal. / S.Y.
Seal Coat Aggregate	23 lbs. / S.Y.

The actual quantities required may be more than the estimated application rates, above, and payment will be made at the lump sum price for this project.

12. **Chip Seal:** The following provisions shall be applicable to the application of the chip seal and shall be in addition to Section 02504 of the MPW Standard Specifications.
  - A) **Surface Preparation:** The cleaning and preparation of the road surface required by the specifications shall include the removal of grass and other vegetative matter growing along any gutters (curb or valley) or elsewhere in the road surface. The Contractor shall clean the roads to be chip sealed prior the chip seal. No measurement or payment shall be made for this item but it shall be included in the cost of the other bid items.

B) **Stone Chips:** The aggregate for the chip seal shall meet the following gradation:

Percent Passing, by Weight

<u>Sieve Size</u>	<u>Percent Passing</u>
3/8 inch	100
No. 4	0-20
No. 10	-
No. 100	-
No. 200	0-2

Of the fraction retained on the No. 4 sieve, a minimum of 75% of the particles by weight shall have at least one fractured face and a minimum of 50% of the particles by weight shall have at least two fractured faces. The chips shall be of uniform quality throughout and shall be clean. The Contractor shall furnish test results for compliance daily during production.

- C) **Emulsified Asphalt:** The Contractor shall submit to the Owner all volume tickets for each load of emulsified asphalt delivered. The spraying of emulsified asphalt shall be so conducted as to provide a seal at the joint between the edge of the concrete gutter and the adjoining road surface. Spraying widths necessary to cover the width of the road shall be calculated so as to keep the amount of oil any gutters (or other concrete surfaces) to a minimum. Hand spraying may be necessary where road widths are irregular.
- D) **Estimated Application Rates:** The application rates for this project shall be determined in the field by the Contractor, warranted by what road conditions necessitate. The following are approximate minimum requirements.

Emulsified Asphalt	0.28 gal. / S.Y.
Seal Coat Aggregate	23 lbs. / S.Y.

The actual quantities required may be more than the estimated application rates above. Payment will be made at the lump sum price for this project.

No asphalt material shall be applied if the atmospheric temperature in the shade is less than 65°F. Chips shall be applied at appropriate rates to prevent pick up by the construction equipment. Rolling shall proceed immediately after application to ensure maximum embedment of the aggregate. Traffic can be permitted on the completed surface in four hours or as directed by the Contractor.

- E) **Sweeping After Chip Sealing:** Within 48 hours after chip sealing, all roads shall be swept by the Contractor to remove excess (unattached) chips from the surface of the road. No measurement or payment shall be made for this item but it shall be included in the cost of the other bid items.

The method of sweeping is dependent upon which alternate is selected for the project (refer to Special Provision 1, above). If only 1 bid alternate is specified, Contractor will be allowed to sweep excess (unattached) chips from the surface of the road onto the graveled edges of the roadway.

13. **Pavement Marking:** Any roads with existing pavement markings shall be repainted with water based paint after the chip seal. Contract shall include compensation for this work in the lump sum price for chip seal. The Contractor shall be responsible for his own layout and control in the field. No measurement or payment shall be made for permanent pavement markings but shall be included in the cost of the other bid items.

Temporary center-line (yellow) and lane marks (white) shall be applied wherever any existing striping is removed or covered prior to opening the area to traffic. When road surface is covered (due to patching, chip sealing, or overlaying), and prior to opening the area to traffic, yellow and white tabs must be installed every 10 to 15 feet. No measurement or payment shall be made for temporary markings but shall be included in the cost of the other bid items.

14. **Manhole Adjustment:** Manholes shall be adjusted to grade in accordance with Section 02113 of the MPW Standard Specifications. If feasible, adjustment shall be made with a two-inch concrete adjusting ring. Use of brick and mortar for adjustment will be allowed if concrete adjusting rings will not provide the proper height adjustment. Manholes may be adjusted to final grade before or after pavement overlay, however, final grade must be within 1/4 inch below finished road surface. No measurement or payment shall be made for this item but it shall be included in the cost of the other bid items.

15. **Water Valve and Monument Adjustment:** Water valves and monument boxes shall be adjusted to grade in accordance with Section 02113 of the MPW Standard Specifications. Adjustment shall be made by screwing the extension up or down as necessary to adjust the valve box to the finished grade of the asphalt surface. Water valves shall be excavated and exposed so as to readily determine whether height adjustment can be made without substituting a longer section. No measurement or payment shall be made for this item but it shall be included in the cost of the other bid items.

EXHIBIT F

PETITION TO ESTABLISH A RURAL SPECIAL IMPROVEMENT DISTRICT (RSID)

SECTION C  
ESTIMATED ANNUAL MAINTENANCE COST

Maintenance  
Chip Seal 7-10 yr  
Rotating Basis

FALL MAINTENANCE:

ACTIVITY/IMPROVEMENT	ESTIMATED COST
—	\$
—	\$

WINTER MAINTENANCE:

ACTIVITY/IMPROVEMENT	ESTIMATED COST
—	\$
—	\$

SPRING MAINTENANCE:

ACTIVITY/IMPROVEMENT	ESTIMATED COST
—	\$
—	\$

SUMMER MAINTENANCE:

ACTIVITY/IMPROVEMENT	ESTIMATED COST
Chip Seal (incl Crack Seal) 7-10 yrs ongoing cycle	\$ 6,000.54 *
	\$

TOTAL ESTIMATED ANNUAL MAINTENANCE COST: \$ 6,000.54

\* Based on Hardrives measurements (9-6-05) of  
127,671 sf. @ \$.047/sf



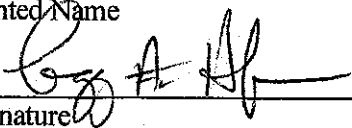
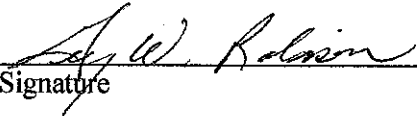
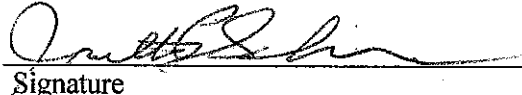
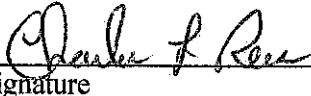

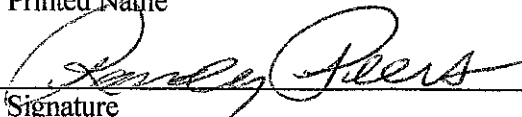
Divided equally between 61  
lots. Amount becomes \$ 98.37

EXHIBIT G

1/2

PETITION TO ESTABLISH A RURAL SPECIAL IMPROVEMENT DISTRICT (RSID)

SECTION F  
PROPOSED RURAL SPECIAL IMPROVEMENT DISTRICT  
RECOMMENDATIONS FOR AD HOC COMMITTEE

- |    | NAME                                                                                                                                      | TELEPHONE NUMBER |
|----|-------------------------------------------------------------------------------------------------------------------------------------------|------------------|
| 1. | GREGG A. HARNER - CHAIR<br>Printed Name<br><br>Signature | 628-7108         |
| 2. | Guy W. Rolison<br>Printed Name<br><br>Signature          | 628-8882         |
| 3. | JONATHAN SCHWEIDER<br>Printed Name<br><br>Signature    | 628-1525         |
| 4. | Charles L. Reeser<br>Printed Name<br><br>Signature     | 628 7614         |
| 5. | GAIL NORMAN<br>Printed Name<br><br>Signature           | 628 8163         |
| 6. | RANDY PEERS<br>Printed Name<br><br>Signature           | 628-8408         |

PETITION TO ESTABLISH A RURAL SPECIAL IMPROVEMENT DISTRICT (RSID)

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SECTION F  
PROPOSED RURAL SPECIAL IMPROVEMENT DISTRICT  
RECOMMENDATIONS FOR AD HOC COMMITTEE

	NAME	TELEPHONE NUMBER
7.	Lynda Hahn Printed Name <i>Lynda Hahn</i> Signature	628-4946
8.	DENNIS M. WARNER Printed Name <i>Dennis M. Warner</i> Signature	628-8966
9.	 Printed Name  Signature	
10.	 Printed Name  Signature	
11.	 Printed Name  Signature	
12.	 Printed Name  Signature	

